



FOR SALE

**BUILDING PLOT
478 LIVERPOOL ROAD
RUFFORD
ORMSKIRK
L40 1SQ**



Price: £325,000

- Rarely available building plot
- One acre (0.4 hectares) or thereabouts
- Extensive frontage overlooking rolling meadows
- Greenbelt location but convenient for the amenities in the pretty village

Peter E Gilkes & Company and for the vendors or lessors of this property whose agents they are give notice the (i) the particulars are produced in good faith, are set out as a guide and do not constitute part of a contract; (ii) no person in the employment of Peter E Gilkes has any authority to make or give any representation or warranty whatsoever in relation to this property.



CHARTERED SURVEYORS
PROPERTY CONSULTANTS, VALUERS & ESTATE AGENTS

Peter E Gilkes FRICS | Bernadette Gilkes | Ben Gilkes BSc MRICS | Matthew J Gilkes BSc (Hons) MRICS



Description:

Enjoying a choice rural setting washed over as Greenbelt with extensive westerly views to the front over rolling meadows a rarely available opportunity to acquire a large plot of 1 acre (0.4 hectares).



Open Aspects to Front



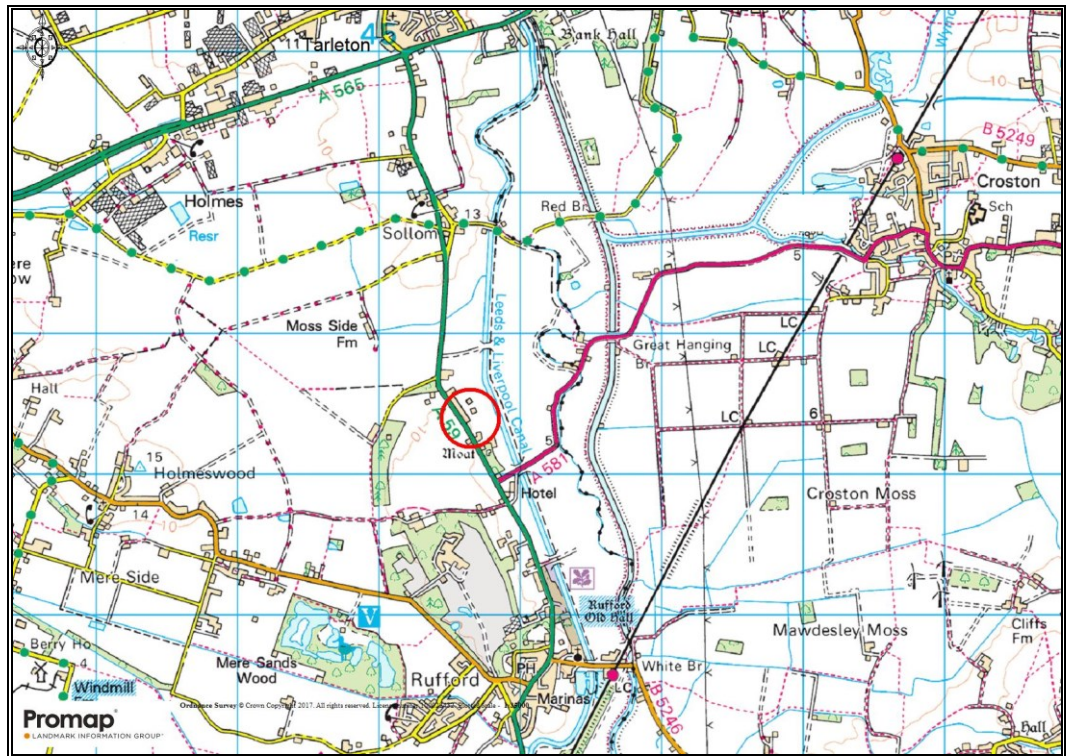
View from Rear

Planning permission has been granted for conversion of the existing workshop into a bungalow style residence but the structure could be enlarged at the rear in order to create an exceptional residence.

Members of the family who operate the horticultural business primarily made up of rearing and selling of bedding plants are to relocate their polytunnels to northern portion of the site.

The southern plot held with the existing semi-detached house is to be cleared of polytunnels etc and the house disposed of with the potential of enlarging and benefiting from the gardens of 0.75 (0.3 hectares).

Location: Proceeding north out of the picturesque village of Rufford along Liverpool Road (A59) the site is on the right (east) side of the road after approximately 1 mile.



Planning: West Lancs Borough Council granted planning permission (Application Number 2016/0913/COU) on the 19th December 2016 for conversion of the existing outbuilding to a single storey dwelling.

As is customary with these application Permitted Development Rights where withheld merely to ensure some control over the development of the site and its sensitivity within the Greenbelt. Comments in the Officer's report intimated enlarging of the existing building at the rear would not be unacceptable.

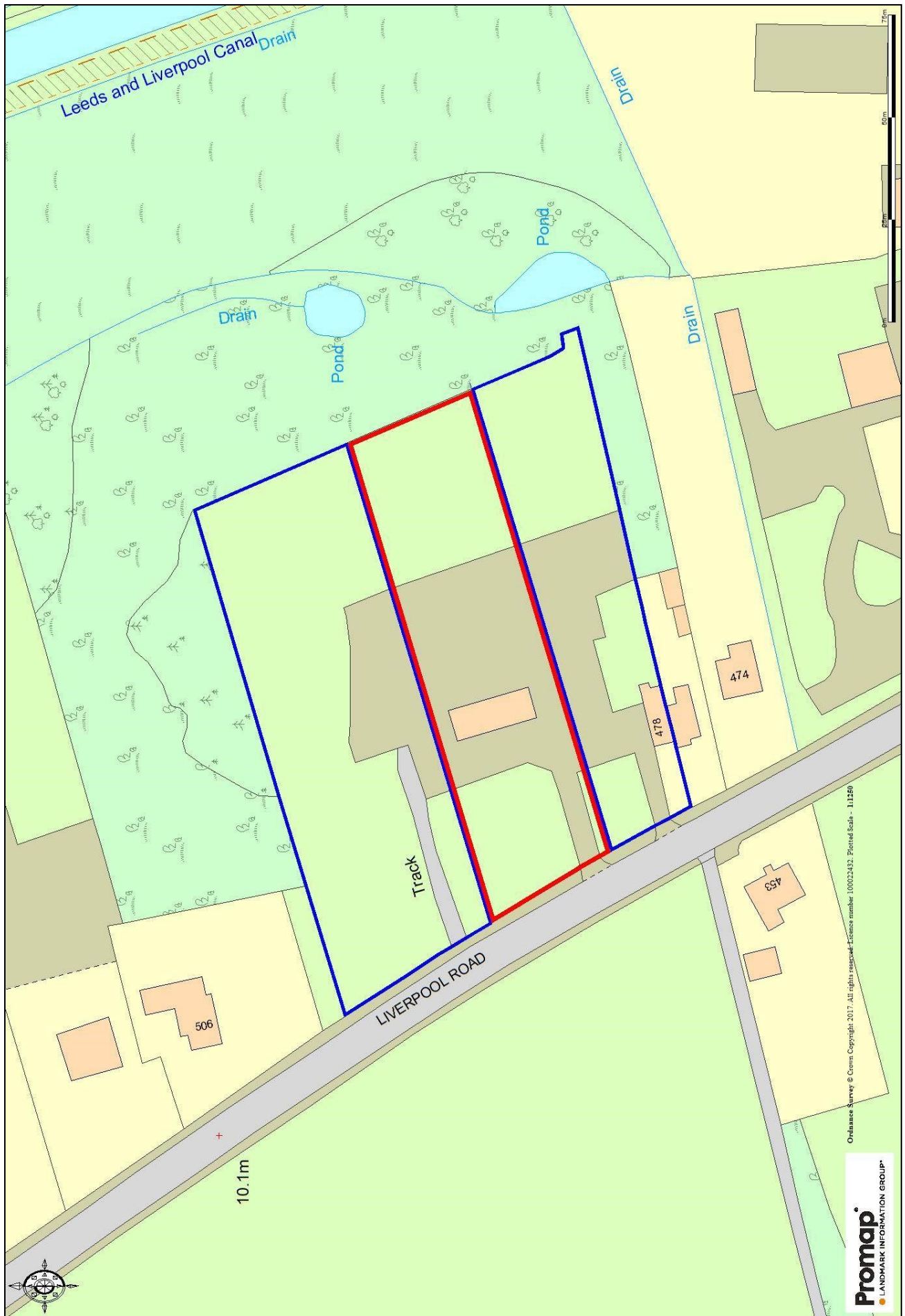
The plot therefore is capable of being developed with a prestigious bungalow style residence that would be in keeping with the surrounding neighbouring properties and supported by the extensive grounds of one acre.

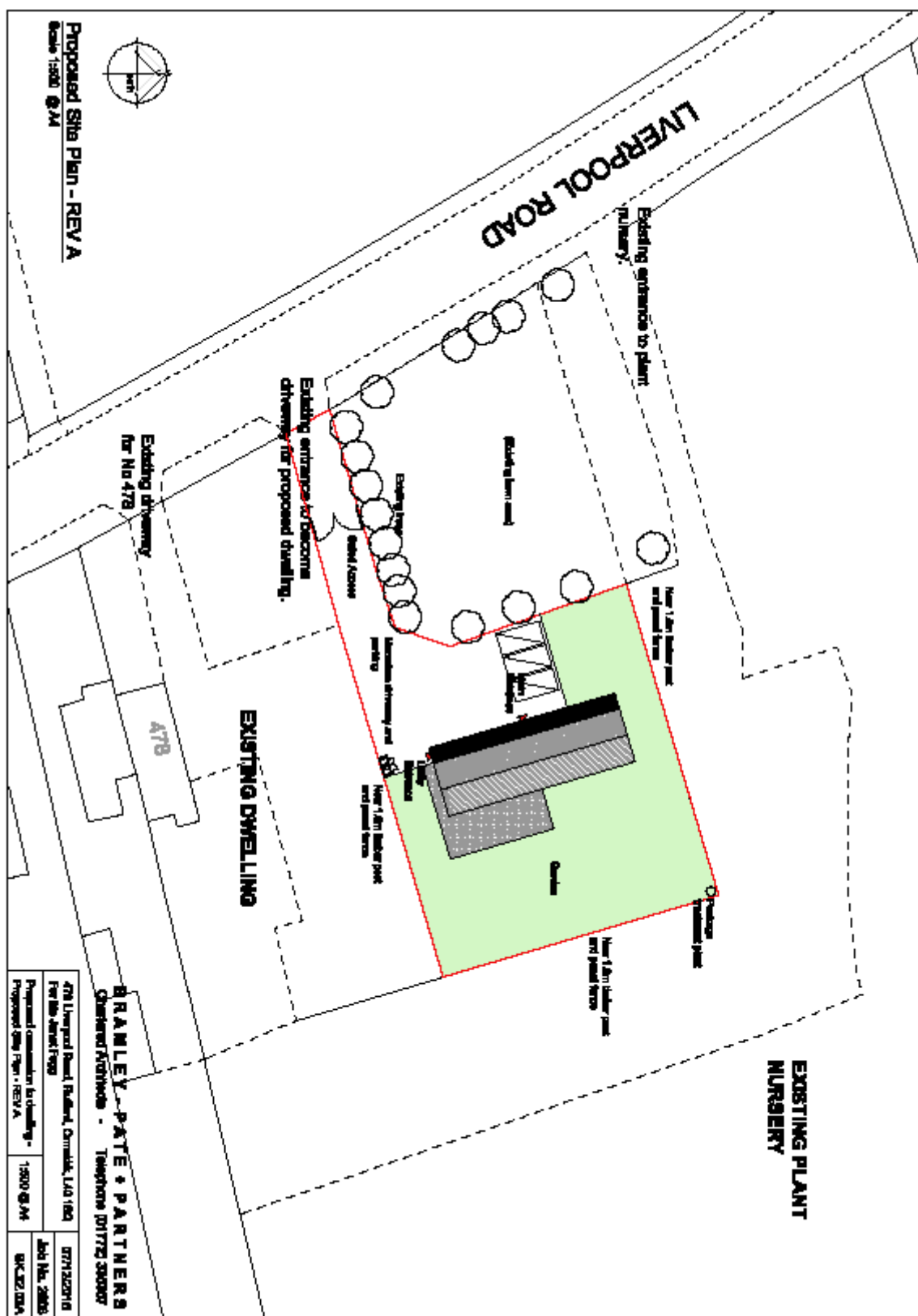
Full details of the planning application together with a list of supporting documents can be viewed on West Lancs website www.westlancs.gov.uk.

Tenure: It is understood the site is Freehold and free from Chief Rent.

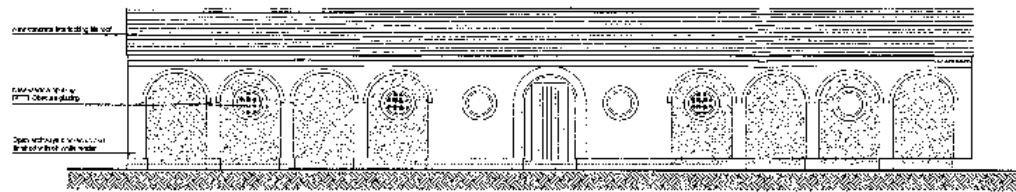
Services: Mains electricity and water supplies are available. Drainage could be achieved by constructing a septic tank.

To View: Strictly by appointment with Peter E Gilkes & Company and with whom all negotiations should be conducted.

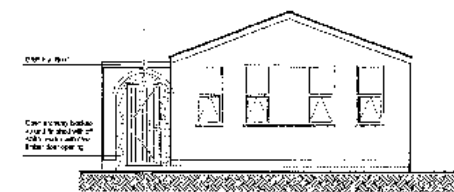




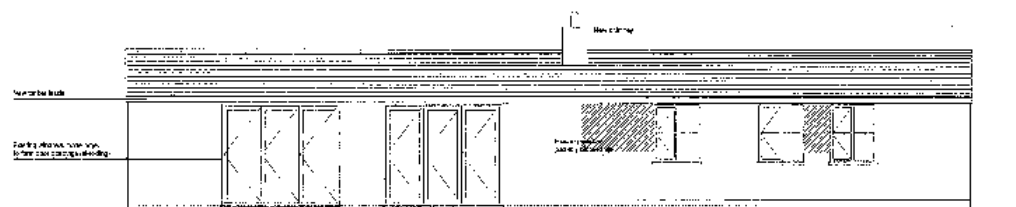
Site Plan



West Elevation



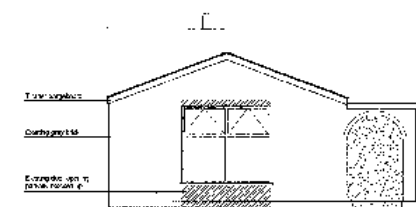
South Elevation



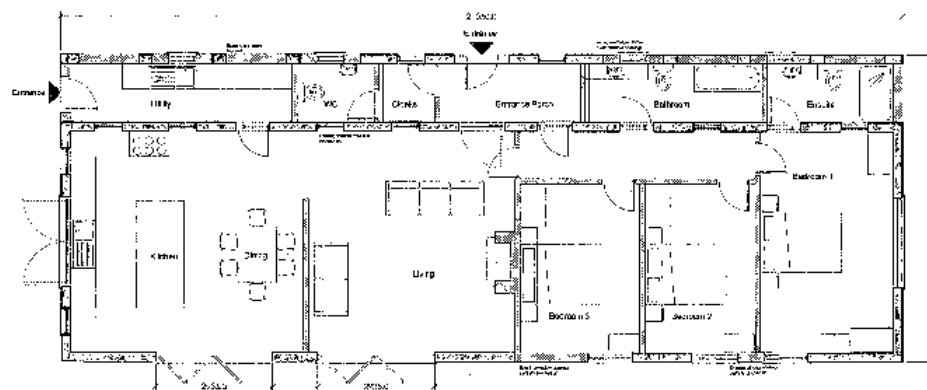
East Elevation

Proposed Elevations

Scale 1:100 @ A3

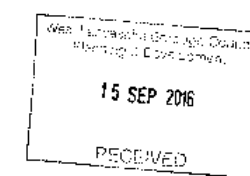


North Elevation



Proposed Plan

Scale 1:100 @ A3



BRAMLEY - FATE + PARTNERS
Chartered Architects - Telephone (01772) 835957

478 Liverpool Road, Rufford, Ormskirk, L40 1SQ 14th/21st/10
for Mr. John Fogg
Proposed conversion to dwelling - 1:100 @ A3 Job No. 2603
Proposed plans & elevations SK08.1A

Layout Plan

